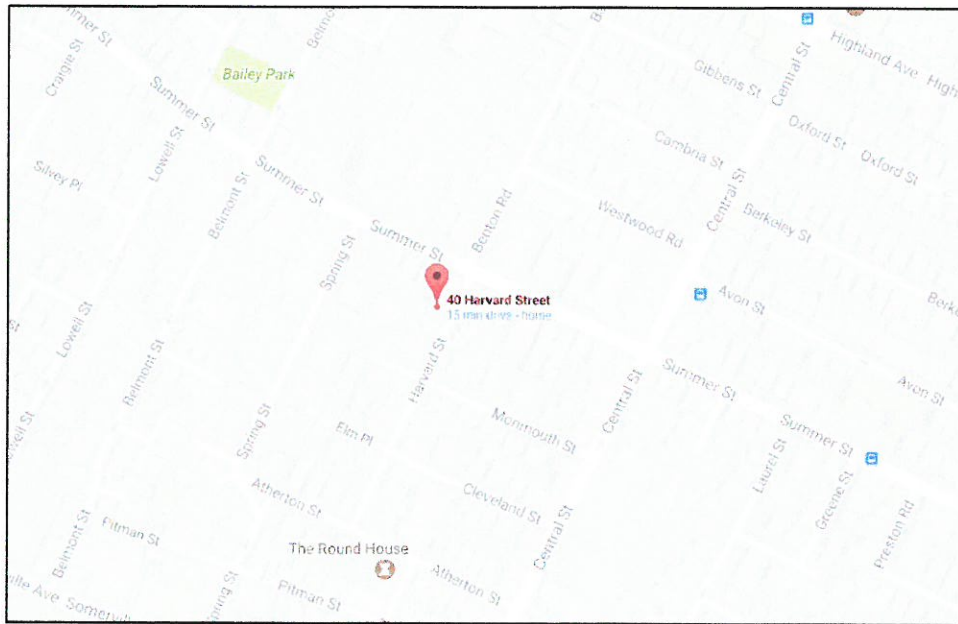




VIEW OF 40 HARVARD STREET - EXISTING CONDITION



PROJECT LOCATION

LOADS, PER 780 CMR:
LIVE LOADS

30lb.s/SF (BEDROOMS)
40lb.s/SF (OTHER ROOMS)

GROUND SNOW LOAD
WIND LOAD

50lb.s/SF
100MPH

PROJECT LOCATION:
40 HARVARD STREET
SOMERVILLE, MA
ZONING DISTRICT RB

LIST OF DRAWINGS

ISSUED	REVIEW SET AUG. 11, 2017	PERMIT SET FEB. 26, 2018	PERMIT rev Mar. 19, 2018
COVER	X	X	X
Z1.1 ZONING INFORMATION	X	X	X
SURVEY		X	X
EX1.1 EXISTING CONDITIONS PLANS	X	X	X
EX1.2 EXISTING CONDITIONS PLANS	X	X	X
EX2.1 EXISTING CONDITIONS ELEVATIONS	X	X	X
EX2.2 EXISTING CONDITIONS ELEVATIONS	X	X	X
A1.1 PROPOSED PLANS	X	X	X
A1.1 PROPOSED PLANS	X	X	X
A1.2 PROPOSED PLANS	X	X	X
A2.1 PROPOSED ELEVATIONS	X	X	X
A2.1 PROPOSED ELEVATIONS	X	X	X

BUILDING ENVELOPE REQUIREMENTS OPAQUE ELEMENTS: 780 CMR (2015 IECC)

Building Envelope- Climate Zone 5 Group R	C402.1.3
Roofs	
Insulation entirely above deck	R-30ci
Attic and other	R-49
Walls, Above Grade	
Wood framed & other	R-13 + R-7.5ci or R-20+R-3.8ci
Walls, Below Grade	
Walls	R-7.5ci
Floors	
Joist/Framing	R-30
Slab-on-grade Floors	
Unheated slabs	R-10 for 24 in. below
Heated slabs	R-15 for 36 in. below
Opaque Doors	
Swinging	U-0.37
Non-swinging	R-4.75



Project Title:
40 Harvard Street
Somerville MA

Drawing Title:
DESIGN INFORMATION

Project # 17028

Scale: NONE

Date: February 27, 2018
REV April 11, 2018
SP May 31, 2018

Drawing #

COVER

A

B

C

D

1

2

3

4

5

ZONING DATA PER §8.5. - TABLE OF DIMENSIONAL REQUIREMENTS; SP PER §4.4.1

	ZONING DISTRICT - RA	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A	MINIMUM LOT SIZE (S.F.)	10,000	±3,781	NO CHANGE	EXISTING NON-CONF.
B	MINIMUM LOT AREA/DWELLING UNIT 1-9 UNITS (S.F.)	2,250	±1,890	NO CHANGE	EXISTING NON-CONF.
C	MAX. GROUND COVERAGE (%)	50	>50	±50	EXISTING NON-CONF.
D	MIN. LANDSCAPED AREA (%)	25	±25	±25	CONFORMS
E	FLOOR AREA RATIO (FAR)	0.75	0.79	0.87	EXISTING NON-CONF.
	NET FLOOR AREA (NSF)	±2,836	±2,982	±3,289	EXISTING NON-CONF.
F	MAX. HEIGHT (FT/STORIES)	35 / 2 1/2	35 / 2 1/2	NO CHANGE	CONFORMS
G	MIN. FRONT YARD (FT)	15	12.5	NO CHANGE	EXISTING NON-CONF.
H	MIN. SIDE YARD - RIGHT (FT)	7.33' SEE NOTE 1	5.0	NO CHANGE	EXISTING NON-CONF.
	MIN. SIDE YARD - LEFT (FT)	8.33' SEE NOTE 1	6.1	NO CHANGE	EXISTING NON-CONF.
I	MIN. REAR YARD (FT)	20	25.2	NO CHANGE	CONFORMS.
J	MIN. FRONTAGE (FT)	50	42.03	NO CHANGE	EXISTING NON-CONF.
K	MIN. PERVIOUS AREA (%)	35	<50	<50	CONFORMS
	MIN. NO. OF PARKING SPACES	3.5 SEE NOTE 2	2	NO CHANGE	EXISTING NON-CONF.

NOTE 1: SIDE YARD CALCULATIONS, PER § 8.6.10

LOT WIDTH: 50' - 42' = 8'
 ALLOWED REDUCTION ON SINGLE YARD: 8' x 1"/FOOT = 8"/12 = 0.66'
 3 STORY SIDE YARD: 8' - 0.66' = 7.33' REQUIRED YARD
 ALLOWED REDUCTION ON SUM WIDTH OF YARDS:
 8' X 2"/FOOT = 16"/12 = 1.33'
 2 1/2 STORY SUM OF YARDS: 17' - 1.33' = 15.66' REQUIRED YARDS

NOTE 2: PARKING § 9.5

EXISTING: (1) 1-BR UNIT & (1) 3-BR UNIT: REQUIRES 3.5 SPACES
 PROPOSED:
 (1) 2-BR REQUIRES 1.5 SPACES
 (1) 4-BR REQUIRES 2.0 SPACES
 TOTAL REQUIRED 3.5 SPACES



Project Title:
 40 Harvard Street
 Somerville MA

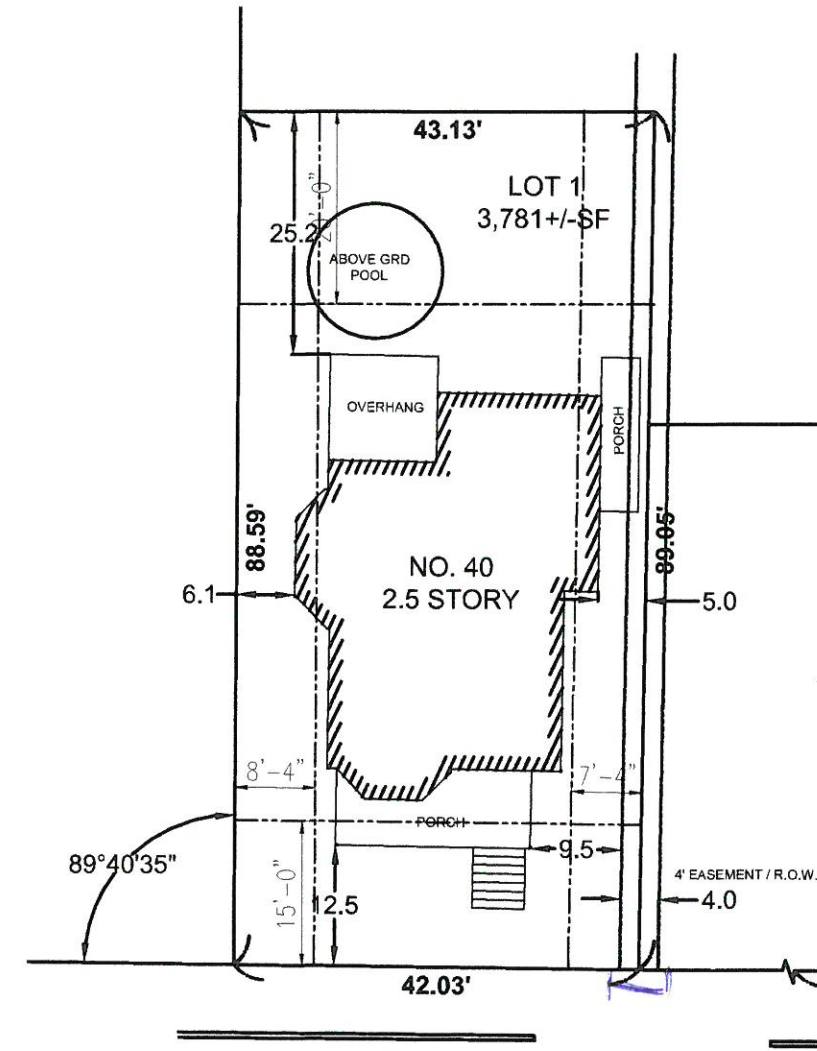
Drawing Title:
 ZONING
 INFORMATION

Project # 17028

Scale: AS NOTED

Date: February 27, 2018
 REV April 11, 2018
 SP May 31, 2018

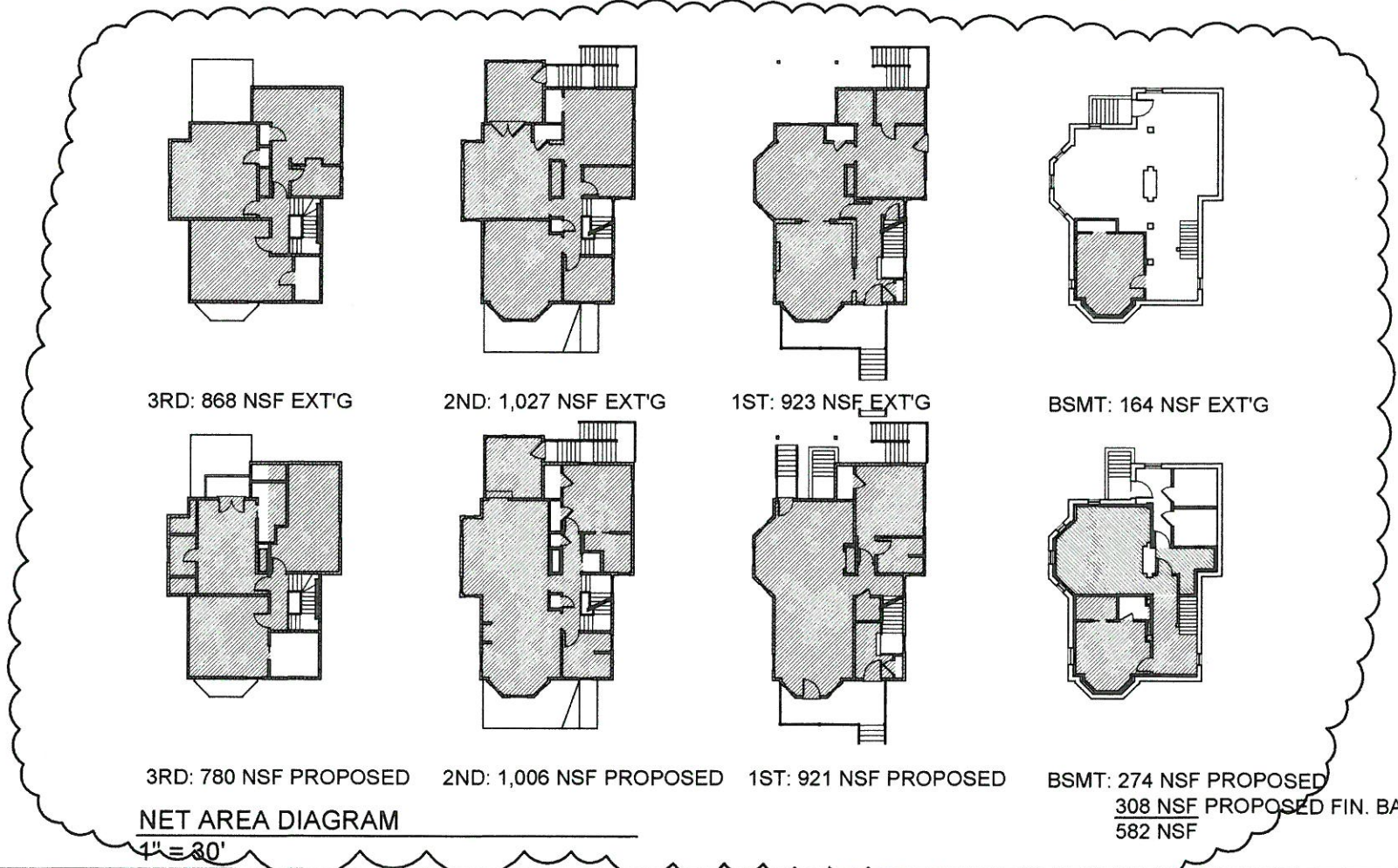
Drawing #
 Z1.1



DIMENSIONAL SITE DIAGRAM

1" = 20'

BASED ON SURVEY PLAN PREPARED BY:
 MASSACHUSETTS SURVEY CONSULTANTS
 GLOUCESTER, MA 01930

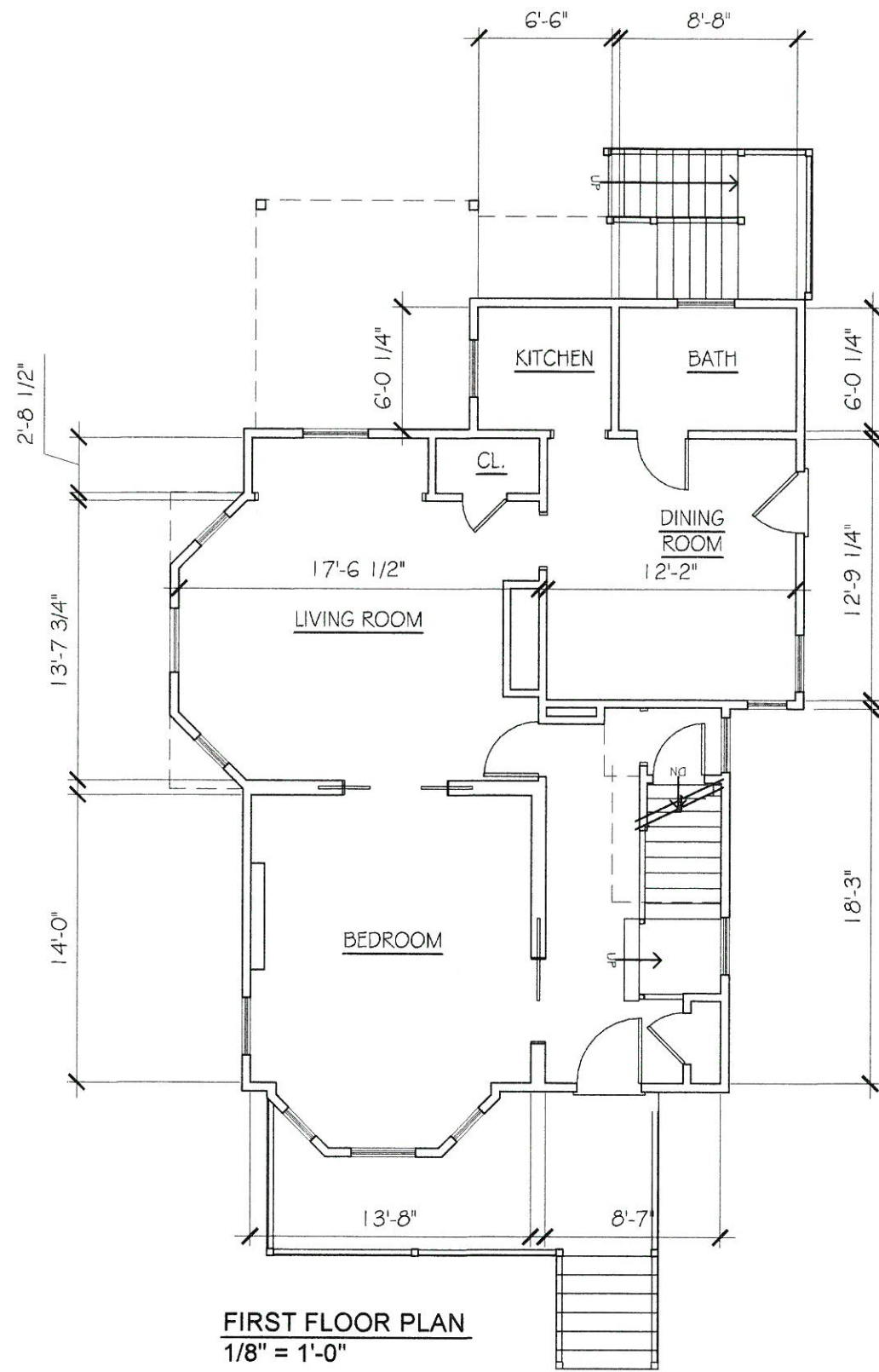


3RD: 868 NSF EXT'G 2ND: 1,027 NSF EXT'G 1ST: 923 NSF EXT'G BSMT: 164 NSF EXT'G

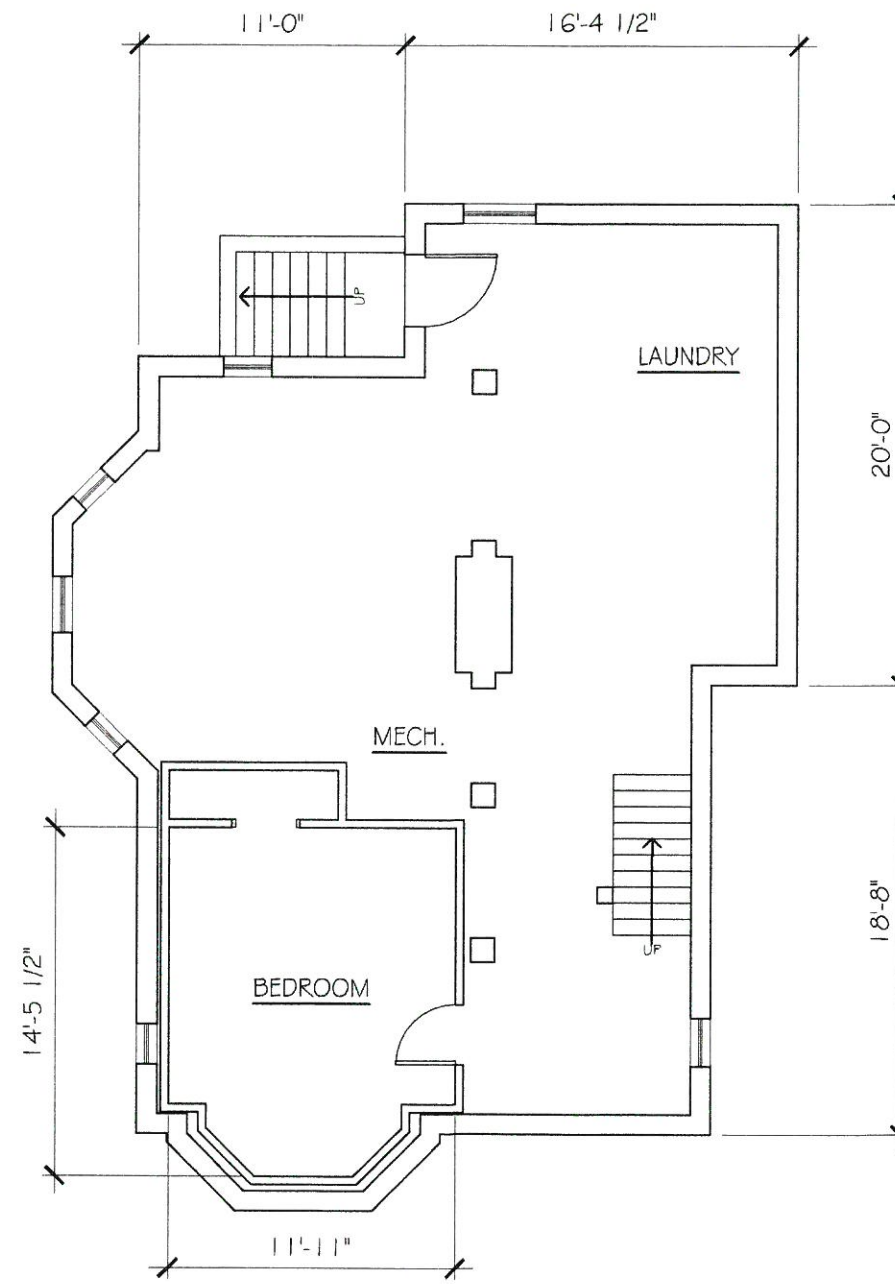
3RD: 780 NSF PROPOSED 2ND: 1,006 NSF PROPOSED 1ST: 921 NSF PROPOSED BSMT: 274 NSF PROPOSED
 308 NSF PROPOSED FIN. BASEMENT
 582 NSF

NET AREA DIAGRAM

1" = 30'



FIRST FLOOR PLAN
1/8" = 1'-0"



BASEMENT PLAN
1/8" = 1'-0"

Project Title:
40 Harvard Street
Somerville MA

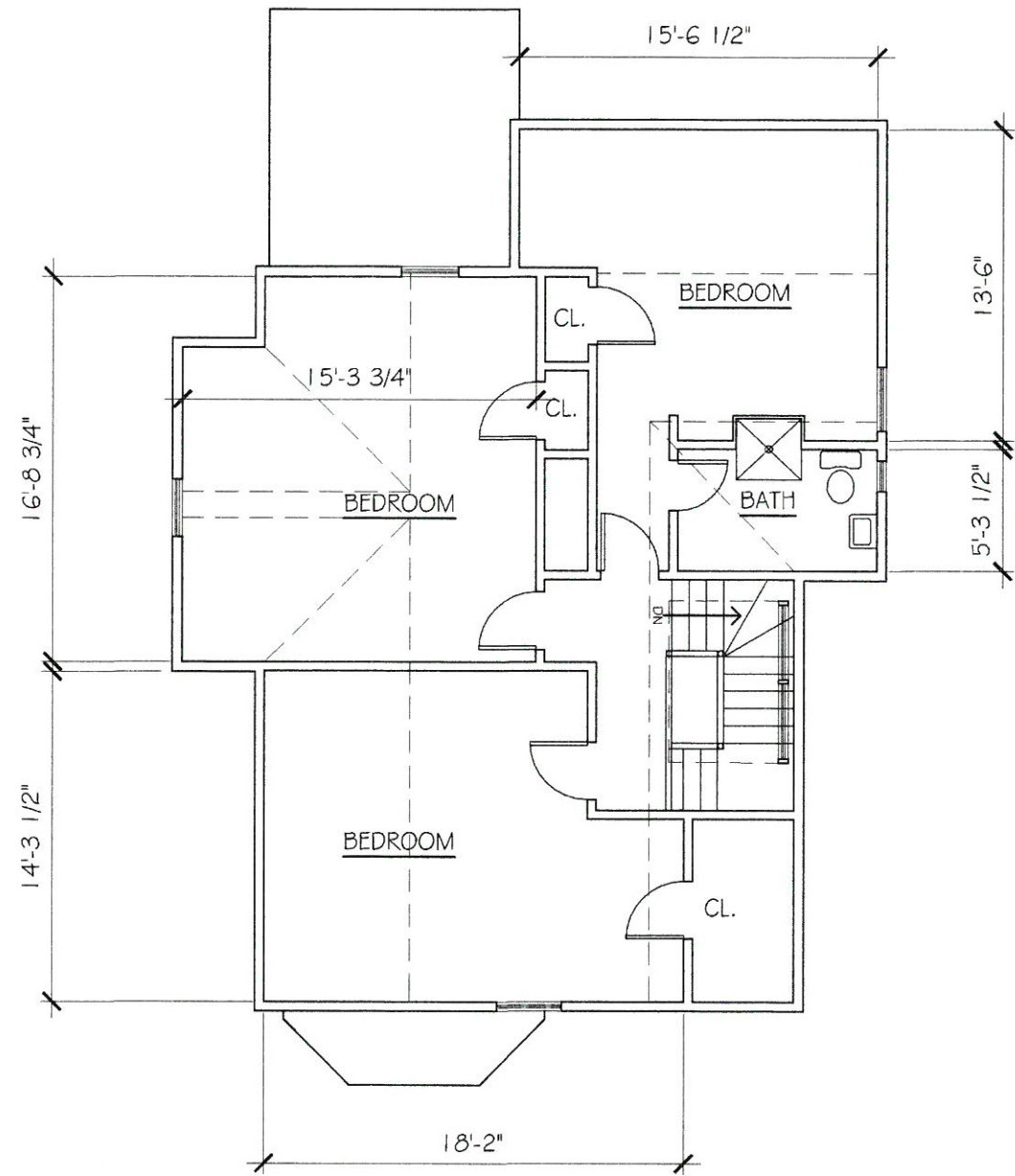
Drawing Title:
EXISTING CONDITIONS
PLANS:

Project # 17043

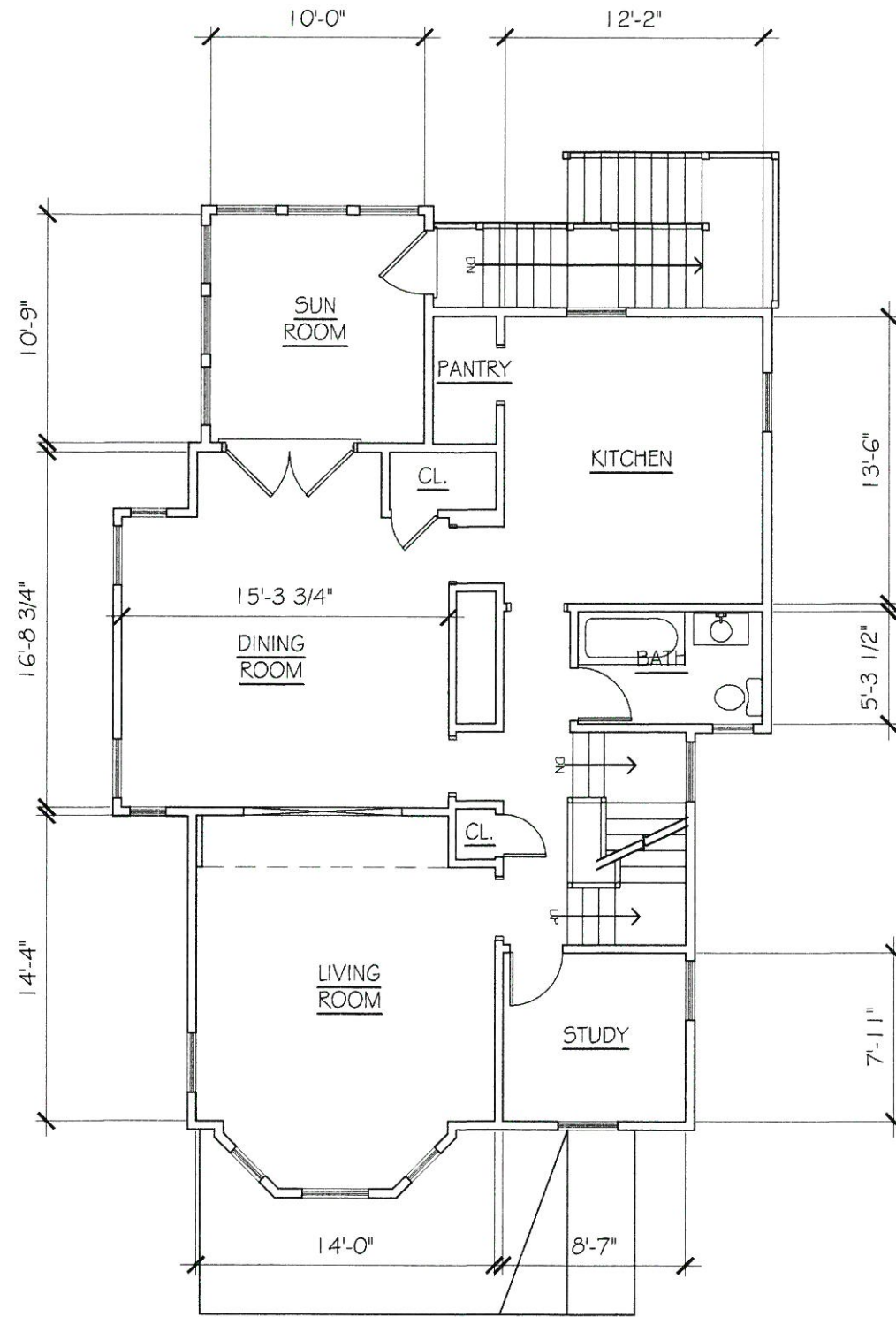
Scale: 1/8"=1'-0"

Date: February 27, 2018
REV April 11, 2018
SP May 31, 2018

Drawing #
EX1.1



THIRD FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"

Project Title:
40 Harvard Street
Somerville MA

Drawing Title:
EXISTING CONDITIONS
PLANS:

Project # 17028

Scale: 1/8" = 1'-0"

Date: February 27, 2018
REV April 11, 2018
REV May 31, 2018

Drawing #
EX1.2

A
B
C
D

1 2 3 4 5



FRONT ELEVATION
1/8" = 1'-0"

NORTH ELEVATION
1/8" = 1'-0"

Project Title:
40 Harvard Street
Somerville MA

Drawing Title:
EXISTING CONDITIONS
ELEVATIONS:

Project # 17028

Scale: 1/8"=1'-0"

Date: February 27, 2018
REV April 11, 2018
SP May 31, 2018

Drawing #
EX2.1

A

B

C

D

1

2

3

4

5



REAR ELEVATION
1/8" = 1'-0"

SOUTH ELEVATION
1/8" = 1'-0"

Project Title:
 40 Harvard Street
 Somerville MA

Drawing Title:
 EXISTING CONDITIONS
 ELEVATIONS:

Project # 17028

Scale: 1/8" = 1'-0"

Date: February 27, 2018
 REV April 11, 2018
 SP May 31, 2018

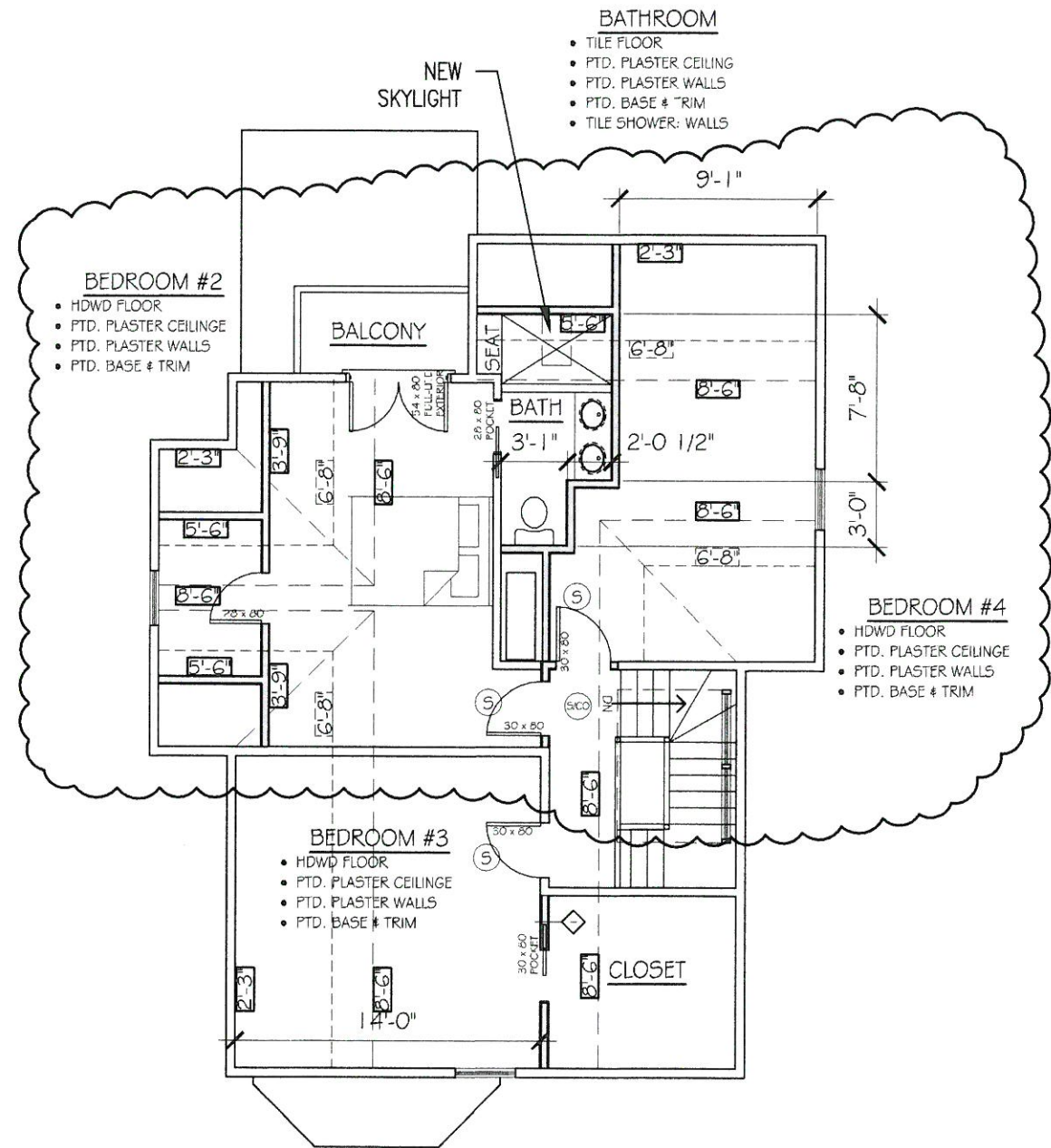
Drawing #
EX2.2

A

B

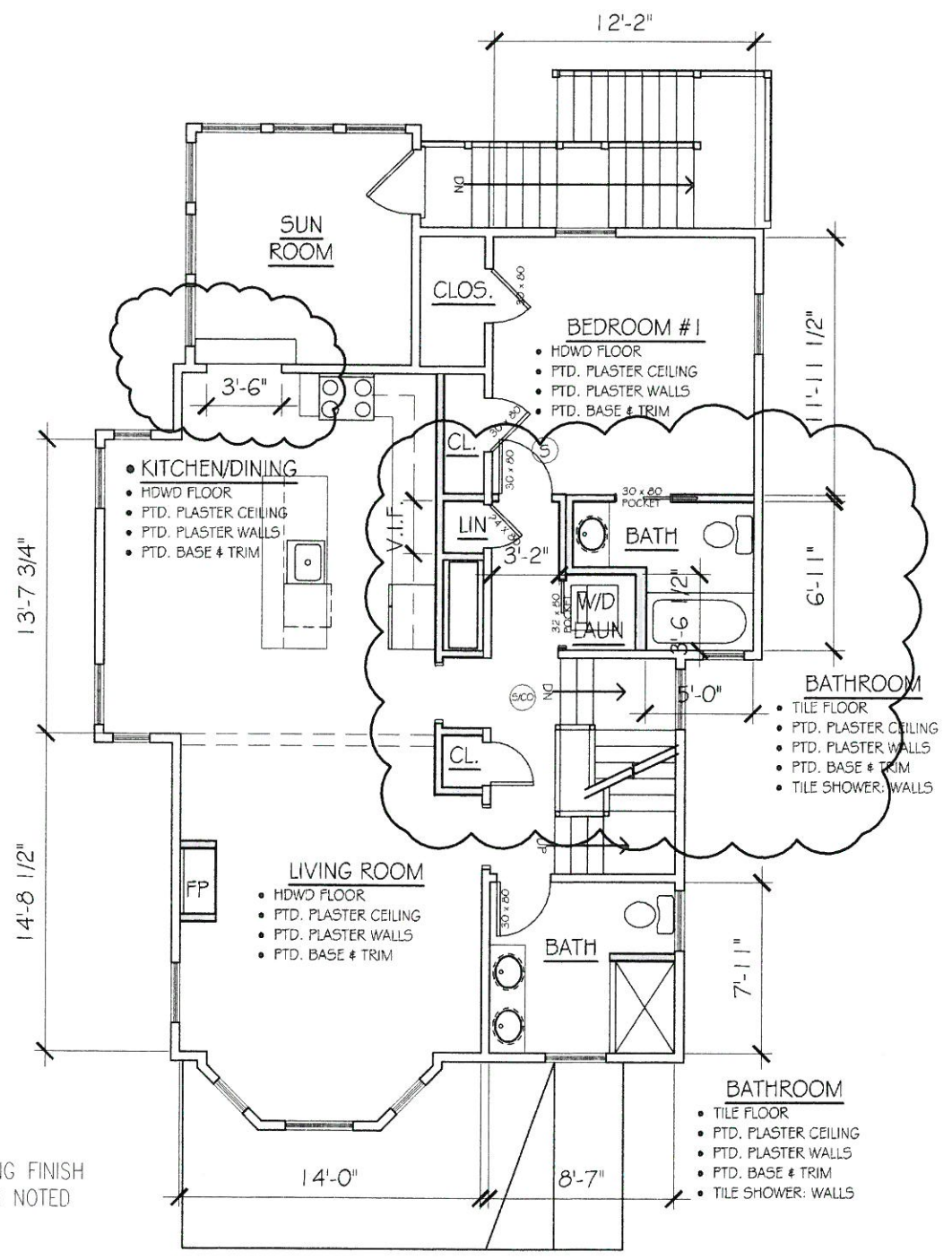
C

D



THIRD FLOOR PLAN (780 NSF)
 1/8" = 1'-0"

NOTE ON DIMENSIONS:
 DIMENSIONS ARE TO FACE EXISTING FINISH
 AND FACE OF NEW FRAJNLESS NOTED
 OTHERWISE.



SECOND FLOOR PLAN (1,006 NSF)
 1/8" = 1'-0"

**DRAWINGS ARE FULL SIZE WHEN
 PRINTED AT "FULL" ON 11 X17 SHEET**

Project Title:
**40 Harvard Street
 Somerville MA**

Drawing Title:
**PROPOSED PLANS:
 SCHEMATIC LAYOUT**

Project # 17043

Scale: 1/8" = 1'-0"

Date: February 27, 2018
 REV April 11, 2018
 SP May 31, 2018

Drawing #
A1.2



FRONT ELEVATION
1/8" = 1'-0"

NORTH ELEVATION
1/8" = 1'-0"

Project Title:
40 Harvard Street
Somerville MA

Drawing Title:
PROPOSED
ELEVATIONS:

Project # 17028

Scale: 1/8"=1'-0"

Date: February 27, 2018
REV April 11, 2018
SP May 31, 2018

Drawing #
A2.1



REAR ELEVATION
 1/8" = 1'-0"

SOUTH ELEVATION
 1/8" = 1'-0"

Project Title:
40 Harvard Street
Somerville MA

Drawing Title:
PROPOSED
ELEVATIONS:

Project # 17028

Scale: 1/8"=1'-0"

Date: February 27, 2018
 REV April 11, 2018
 SP May 31, 2018

Drawing #
A2.2